

REQUEST FOR REVIEW

Case No: 2024-15
Petitioner: Paul Casale
C/O Merrill Engineers
Address: 73 Captain's Hill Road
Parcel #s: 111-939-001

* PLANNING BOARD
 * BOARD OF HEALTH
 * CONSERVATION COMMISSION
 * DESIGN REVIEW BOARD
 * WATER DEPARTMENT
 * DUXBURY BAY MANAGEMENT COMMISSION
 * HIGHWAY DEPARTMENT

Date form was delivered: 05/02/2024

DATE REVIEW REPORT DUE TO BOARD OF APPEALS (906.4-WITHIN 35 DAYS) - Written comments and recommendations should be received within 35 days or there shall be deemed no opposition or desire to comment. **DUE DATE TO ZBA: 06/04/2024 or ASAP**

PUBLIC HEARING SCHEDULED FOR: June 13, 2024

| | |
|-------------------------------------|---------------------------------|
| <input type="checkbox"/> | RESIDENTIAL CLUSTER DEVELOPMENT |
| <input type="checkbox"/> | PLANNED DEVELOPMENT |
| <input checked="" type="checkbox"/> | SPECIAL PERMIT |
| <input type="checkbox"/> | VARIANCE |
| <input type="checkbox"/> | APPEAL |

BOARD OF APPEALS REQUESTS:

| | | |
|-------------------------------------|---|-------|
| <input type="checkbox"/> | PRELIMINARY QUALIFICATION/SITE ANALYSIS REVIEW | 803.5 |
| <input checked="" type="checkbox"/> | SPECIAL PERMIT COMMENTS & RECS. | 906.2 |
| <input type="checkbox"/> | DEVELOPMENT APPLICATION REVIEW | 806.2 |
| <input type="checkbox"/> | SITE PLAN APPROVAL | 602 |
| <input type="checkbox"/> | VARIANCE – COMMENTS AND RECOMMENDATIONS | |
| <input type="checkbox"/> | APPEAL OF BUILDING INSPECTOR'S DETERMINATION- COMMENTS AND RECOMMENDATIONS | |



TOWN OF DUXBURY
~~*~*~*
BOARD OF APPEALS
NOTICE OF PUBLIC HEARING

TOWN CLERK
2024 MAY -7 PM 3:47
DUXBURY, MASS.

The Board of Appeals will hold a public hearing in the Mural Room, 878 Tremont Street and via zoom on Thursday, June 13, 2024 at 7:30 p.m. to consider the application of Paul Casale for a Special Permit under Article(s) 400 and 900, Sections 401.2.4, 410.4 and 906.2 of the Duxbury Protective Bylaw. The property is located at 73 Captains Hill Road, Parcel No. 111-939-001 of the Duxbury Assessors Map, consisting of 0.47 acres in the Residential Compatibility District (RC) and owned by Paul and Claire Casale. The Applicants propose to raze and rebuild a pre-existing, non-conforming accessory garage. A special permit is required. The application may be viewed on the Town's website www.town.Duxbury.MA.US under the Zoning Board of Appeals page or in the Municipal Services Department. Any individual with a disability may request accommodation in order to participate in the public hearing and may request the application and any accompanying materials in an accessible format. Such requests should be made at least three business days in advance by contacting the Municipal Services Department.

Pursuant to Chapter 2 of the Acts of 2023, this meeting will be conducted in person and, as a courtesy, via remote means in accordance with applicable law. Please note that while an option for remote attendance and/or participation is being provided as a courtesy to the public and board members, the meeting/hearing will not be suspended or terminated if technological problems interrupt the virtual broadcast, unless required by law. Additionally, the meeting will be broadcast live, in real time, via the Duxbury Government Access Channels – **Verizon 39 or Comcast 15**. Viewers can visit www.pactv.org/duxbury for information about Duxbury programming including streaming on Duxbury You Tube, to watch replays and Video on Demand.

REMOTE MEETING ACCESS INSTRUCTIONS

<https://pactv.zoom.us/j/93616327348?pwd=RHZYNIIVLTndTdVZqaWIPb25hZIVLUT09>

Zoom Meeting ID: 936 1632 7348 **Zoom Password:** 943482

Zoom call in access: 1 929 205 6099 US

Adv.: 5/29 & 6/5/2024

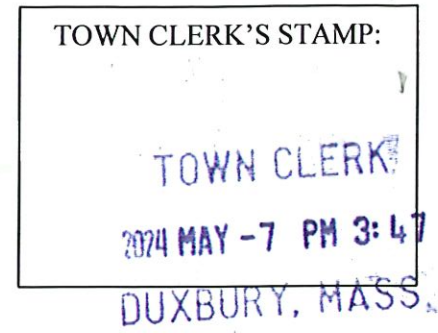
Case #2024-15

Wayne Dennison

Chair, Board of Appeals



The Town of Duxbury
 878 Tremont Street
 Duxbury, MA 02332
 Phone: (781) 934-1100 • Fax: (781) 934-1118



APPLICATION - DUXBURY ZONING BOARD OF APPEALS

APPLICATION INFORMATION

This Application is for:

- Special Permit Appeal Variance Comprehensive Permit

Project Name: 73 Captains Hill Road

Project Type: Garage raze and rebuild

Location (Street Address): 73 Captains Hill Road, Duxbury MA

Assessor's Map/Block/Lot Number (s): Map 111 Block 939 Lot 001

Applicant: Paul Casale

Address: 73 Captains Hill Road, Duxbury MA

Telephone: 617-448-4461

Fax:

Email: ptcasale@welchhrg.com

Property Owner: Same as applicant

Address:

Telephone:

Fax:

Email:

Briefly describe and justify your special permit or variance request, or the basis for your appeal:

The applicant would like to raze the existing garage on site and rebuild the proposed garage. The site is pre-existing non-conforming in terms of front yard/ side yard setback and building coverage. The proposed garage will have a front yard setback of 41.1' measured to the center of way line on Captains Hill Road, to match the existing garage front yard setback. The proposed building coverage will be slightly less than existing. There is a proposed breezeway which will connect the proposed garage to the existing dwelling. Office space will be located above the garage, with access from outdoor stairs.

SITE INFORMATION

Total Area (Sq. Ft.): 20,042±

Lot Frontage: 255.4 FT

Total Upland Area (Sq. Ft.): 20,042±

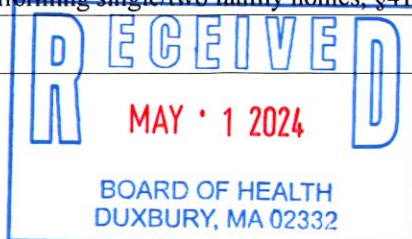
Zoning District(s):

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> RC: Residential Compatibility | <input type="checkbox"/> PD3: Planned Development District 3 | <input type="checkbox"/> POLOD: Publicly Owned Land Overlay District |
| <input type="checkbox"/> NB1: Neighborhood Business District 1 | <input type="checkbox"/> FHAOD: Flood Hazard Area Overlay District | <input type="checkbox"/> DPD: Dunes Protection District |
| <input type="checkbox"/> NB2: Neighborhood Business District 2 | <input type="checkbox"/> WPD: Wetlands Protection District | <input type="checkbox"/> WSOD: Waterfront Scenic Overlay District |
| <input type="checkbox"/> PD1: Planned Development District 1 | <input type="checkbox"/> APOD: Aquifer Protection Overlay District | |
| <input type="checkbox"/> PD2: Planned Development District 2 | | |

Identify *all* sections of the Duxbury Protective Bylaw that apply to this Application:

§401.2(4) Alteration of pre-existing non-conforming single/two family homes, §410.4 (Front Setback and building coverage)

§906.2 (Special Permits)



TOWN OF DUXBURY

Design Review Board

Minimum Submission Requirements

The Design Review Board of the Town of Duxbury requires the following information to accurately and completely review any proposed development:

1. A complete site plan drawn to scale including all pertinent zoning information, building appendages and impervious surfaces
2. Architectural elevations of a proposed development drawn to scale and including all dimensions, material & color selections, and all detail & trim clearly delineated
3. Architectural floor plans of the proposed development drawn to scale including all dimensions *clearly indicating new versus existing, if applicable*
4. Photos of the existing building(s) and neighboring buildings or homes, if possible.

If the proposed development is more complicated or substantial, we reserve the right to require an applicant to provide the following:

1. A site plan of the proposed development including the context of the surrounding area
2. Renderings
3. Material and color sample boards

Existing Use(s) of the Property:
Residential single-family dwelling.

APPLICANT AND OWNER CERTIFICATIONS

The undersigned hereby certifies that he/she has read and examined this Application, including all attachments hereto, and that the proposed project is accurately represented in the statements made in this Application. The undersigned also certifies that applications have been filed with the Planning Board, Conservation Commission, and Board of Health, as appropriate, and hereby requests a hearing before the Zoning Board of Appeals with reference to this Application.

Property Owner

I/we hereby acknowledge that the Applicant is authorized to act on my/our behalf and that any and all representations made by the Applicant will be binding on me/us as Owners of the property.

Signature: Paul T. Casale Date: 4/22/24

Print: Paul T. Casale

Signature: _____ Date: _____

Print: _____

Applicant/Appellant

Signature: Paul T. Casale Date: 4/22/24

Print: Paul T. Casale

Signature: _____ Date: _____

Print: _____

Applicant is: Owner Tenant Agent/Attorney Purchaser Appellant

Building Inspector Review

This completed Application has been reviewed by the Building Inspector prior to filing with the Town Clerk.

John J. ...
Signature of Building Inspector

5/6/2024
Date of Review

Supplemental Application Requirements

The Application must include one or more of the following supplemental pages, as applicable:

- A. Section 906.2 Findings (Required for All Special Permit Applications)
- B. Application to Extend or Alter a Non-Conforming Single-Family or Two-Family Dwelling
- C. Application to Extend or Alter Other Use or Structure
- D. Application for a Special Permit in the NB-1 or NB-2 District
- E. Application for a Residential Pier
- F. Application for a Special Permit in the WPOD
- G. Application for Variance
- H. Appeal of Building Inspector/Zoning Enforcement Officer Decision
- I. Application for a Comprehensive Permit under G.L. c. 40B

SUPPLEMENTAL APPLICATION REQUIREMENTS

A. Section 906.2 Findings; Required for All Special Permit Applications.

For each of the following special permit granting criteria, summarize the proposed project's benefits to the Town and explain how they will outweigh any adverse impacts on the Town or the vicinity of the site. If a given criterion does not apply to the Application or if there will be no adverse impact, briefly explain why. Attach additional sheets if necessary.

- 1) Suitability of the proposed location for this proposal, taking the following into consideration:
 - a) Nearby land uses, and whether they would be supported by or damaged by having the proposed use nearby.
 - b) Uses of the site which would be displaced by or preempted by this use.
 - c) Adequacy of roads, water, drainage and other public facilities serving the location.
 - d) Whether the site is more sensitive than are most similarly zoned sites to environmental damage from the proposal such as: erosion, siltation, potential groundwater or surface water contamination, especially if affecting public or private water supplies, habitat disturbance or loss of valuable natural vegetation.
 - e) Contribution to cumulative impact upon municipal water supplies, including consideration of nitrate-nitrogen loading, if within a defined Aquifer Protection Overlay District.

Applicant's Response: This property is located within the Duxbury Residential Compatibility Zoning District. The proposed raze and rebuilding of the garage on site will match the uses nearby. The existing use for the site will remain the same; residential single-family dwelling. Existing utilities servicing the home will remain. Proposed changes to the driveway will allow for adequate parking, grades, and connection to Captains Hill Road via existing curb cuts. This site has no known wetlands or associated buffer zones, is not located within a groundwater protection area, nor is it located within any other significant areas of environmental concern or rare wildlife. The project scope contains relatively small disturbance, as much of the proposed work is within previously disturbed areas. No impact to public or private water supplies is anticipated.

- 2) Activity type, mix and intensity, taking the following into consideration:
 - a) Whether the proposal contributes to the diversity of services available locally;
 - b) Seasonal consequences, including addition to peak period congestion;
 - c) Service to local, in preference to regional, markets;
 - d) For business developments, likelihood of employment opportunities being created for residents, and the quality of those opportunities; and
 - e) For residential developments, how substantially, if at all, the proposal contributes to housing diversity.

Applicant's Response: The use on site will remain the same as the existing residential single-family dwelling use. This use will not provide any diversity to the services of Duxbury. This project will allow for improvements to the existing garage on-site, therefore enhancing the features of the dwelling. This project will not have any significance in contributing to housing diversity in Duxbury.

- 3) Building and site design, including consideration of the following:
- a) Whether scenic views from public ways and developed properties have been considerably treated;
 - b) Whether compatibility with neighborhood character has been considerably treated;
 - c) Whether reasonable efforts have been made to minimize visibility of parking and service areas from public streets;
 - d) Whether any traditional public access to or along shoreline has been maintained; and
 - e) Compliance with the criteria of Section 424.4 and/or Section 615 under Site Plan Approval.
 - f) Compliance with Section 404.20, "Determination of Suitability of Piers" and Section 404.50, "Waterfront Scenic Area Overlay District," if applicable.

Applicant's Response: The proposed scope of work will not have an impact on any scenic views or public ways known within
the neighborhood and will be considered compatible with the neighborhood characteristic. The proposed garage will allow for 1 vehicle
storage space. Public access to shorelines does not apply. Compliance with §424.4, §615, §404.20, and §4045.0 does not apply.

By Applicant/Appellant

Signature: *Paul T. Casale*

Date: 4/22/24

Print: Paul T. Casale

**DUXBURY BOARD OF APPEALS
SUPPLEMENTAL APPLICATION REQUIREMENTS**

B. Application to Extend or Alter a Non-Conforming Single-Family or Two-Family Dwelling

1) What is the nature of the existing nonconformity(ies)? Check *all* that apply.

- Insufficient lot area Insufficient lot frontage
- Encroachment on front, side, or rear setbacks Existing height exceeds maximum height limit
- Excess *lot* coverage (RC limit: 15%) Excess *site* coverage (NB-1 and NB-2 limit: 50 %)
- Other (list): _____

2) When was the existing dwelling (or accessory structure) constructed? BLDG: 1956
(Attach evidence, e.g., historic photographs, assessor's record, building permit records, other)

3) When was it most recently altered or extended? December 22, 2021 (permitted to remodel)

4) Have any zoning variances been granted for the subject property? Yes No If yes, when? _____

5) Does the proposed project involve demolition of an existing structure? Yes No

6) If yes, and if the building was constructed 75 years or more before the date of this application, has the Historical Commission held a public hearing and made a demolition delay determination under Section 609?
 Yes No Not Applicable

7) Describe the existing and proposed conditions on the lot. The following calculations should be prepared by the engineer or architect of record and must be presented here OR on the site plan.

| | Total (All Structures) | | | Nonconforming Only | | |
|--|----------------------------|---------------|----------------|--------------------|----------|----------------|
| | Existing | Proposed | Percent Change | Existing | Proposed | Percent Change |
| Gross Floor Area (sq. ft.) | 3,214 sf | 3,212 sf | NONE | | | |
| Volume (cu. ft.) (Within front setback) | 445± cf | 625± cf | +40.8% | | | |
| Lot or Site Coverage | | | | | | |
| Area (sq. ft.) | 7,951± sf | 8,620± sf | +8.4% | | | |
| Percent | 39.7% | 43.0% | | | | |
| Building Height | 17.3 FT | No change | None | | | |
| Setbacks: | | | | | | |
| Front: | 23.6' (41.1' to CL or ROW) | 23.6' | None | | | |
| Side: | 12.1 FT | No change | None | | | |
| Side: | Same as above | Same as above | None | | | |
| Rear: | N/A | N/A | None | | | |

8) Does your proposed project:

- Yes No
- Conform to the requirements of the Duxbury Zoning Bylaw?
- Increase any existing non-conformity?
- Create any new non-conformity?

9) The Board of Appeals is required to make certain findings under Section 401.2(3)(a). To assist the Board in this process, please respond to each of the following questions.

a) Will the proposed project substantially increase the nonconforming nature of the existing structure or lot? Why, or why not?

The proposed project will not increase the nonconforming nature of the existing structure or lot. The proposed garage will result

In a 23.6-foot front yard setback (41.1 feet to way centerline of ROW), which matches the existing nonconformity of the structure.

The proposed building coverage will be 16.0% of the lot area, which matches the existing non-conformity. The 12.1' side setback will remain for the existing structure.

- b) Has the project been designed to ensure that the proposed changes will not be more detrimental than the existing nonconforming structure to the neighborhood? If so, how?

The proposed garage design and associated improvements will not be detrimental to the neighborhood. The proposed layout of the driveway and garage will be in similar locations as the existing layout, and proposed changes will not be more non-conforming than existing conditions.

By Applicant/Appellant

Signature:

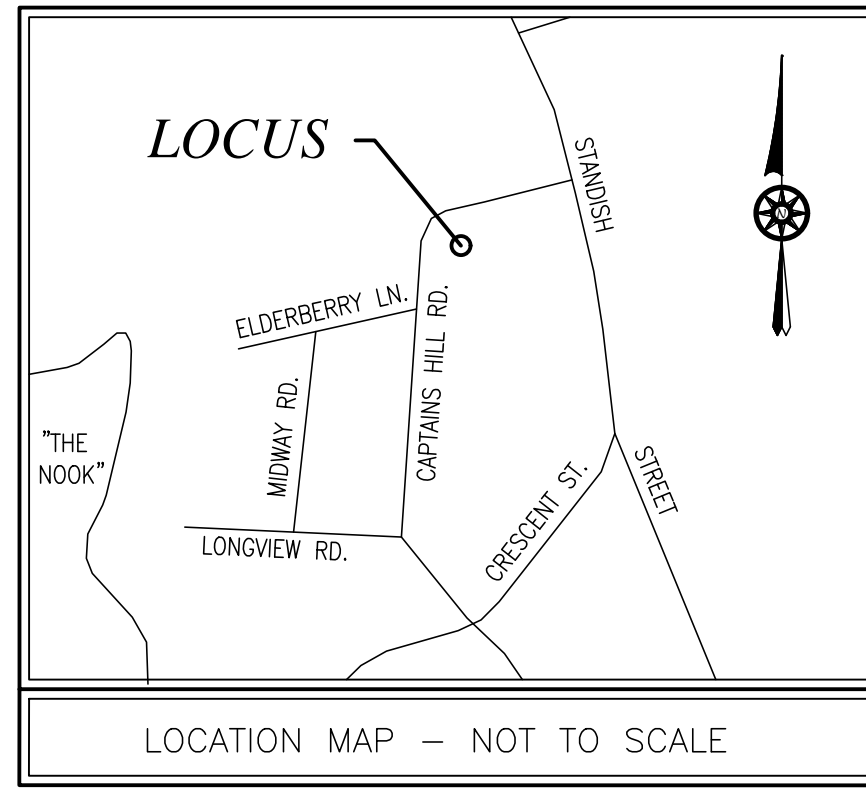
Paul T. Casale

Date:

12/22/24

Print:

Paul T. Casale



RECEIVED
By Lauren Hache at 2:18 pm, May 09, 2024

RECORD OWNER:
ASSESSORS PARCEL 939-001
73 CAPTAINS HILL ROAD

PAUL T. & CLAIRE W. CASALE
73 CAPTAINS HILL ROAD
DUXBURY, MA 02332
CERTIFICATE #47462
LOT 1 - PLAN #189378

NOTES:

- PLAN REFERENCES:
1.1. PLAN BOOK 11, PAGE 455.
1.2. PLAN BOOK 5, PAGE 48
1.3. LAND COURT PLANS 18937B & A8937G
- TOPOGRAPHIC AND DETAIL INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND SURVEY PERFORMED BY MERRILL ENGINEERS AND LAND SURVEYORS DURING JUNE OF 2021.
- ALL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- SUBJECT SITE IS IN THE "RESIDENTIAL COMPATIBILITY" ZONE AS DEPICTED ON THE TOWN OF DUXBURY ZONING MAP.
- EXISTING UTILITIES, WHERE SHOWN, HAVE BEEN COMPILED BASED ON OBSERVED ABOVE GROUND EVIDENCE AND AVAILABLE RECORD PLANS AND ARE TO BE CONSIDERED APPROXIMATE. MERRILL ENGINEERS AND LAND SURVEYORS DOES NOT GUARANTEE THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN OR THAT ALL EXISTING UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN.
- EXISTING SEPTIC SYSTEM COMPONENTS SHOWN HEREON TAKEN FROM RECORD AS-BUILT PLAN ON FILE WITH THE DUXBURY BOARD OF HEALTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE, AS WELL AS THE APPROPRIATE UTILITY COMPANY, AND MUST MAINTAIN EXISTING SYSTEM SERVICES.

FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, AS SHOWN ON COMMUNITY MAP No. 25023C0243K, WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 16, 2016, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LOT COVERAGE

MAX BUILDING COVERAGE ALLOWED: 15%
NO KNOWN MAX LOT COVERAGE

EXISTING COVERAGE CALCULATIONS

BUILDING COVERAGE:
3,214 S.F. / 20,042 S.F. = 16.0%
(GARAGE: 351 S.F.) (DWELLING: 2,863 S.F.)

SITE COVERAGE:
7,951 S.F. / 20,042 S.F. = 39.7%

PROPOSED COVERAGE CALCULATIONS

BUILDING COVERAGE:
3,212 S.F. / 20,042 S.F. = 16.0%
(GARAGE: 431 S.F.) (DWELLING: 2,781 S.F.)

SITE COVERAGE:
8,620 S.F. / 20,042 S.F. = 43.0%

VOLUME WITHIN SETBACK

EXISTING COVERAGE IN SETBACK (GARAGE)

AREA = 38.6± S.F. (48.9± SF W/ OVERHANG)
VOLUME = 444± C.F.

PROPOSED COVERAGE IN SETBACK (GARAGE)

AREA = 37.3± S.F.
VOLUME = 625± C.F.

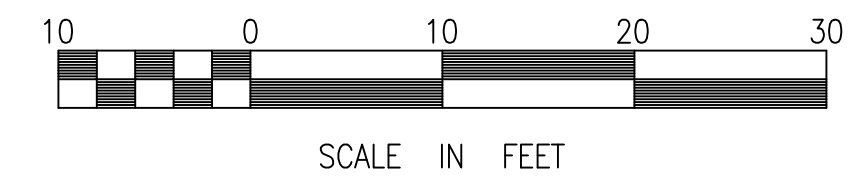
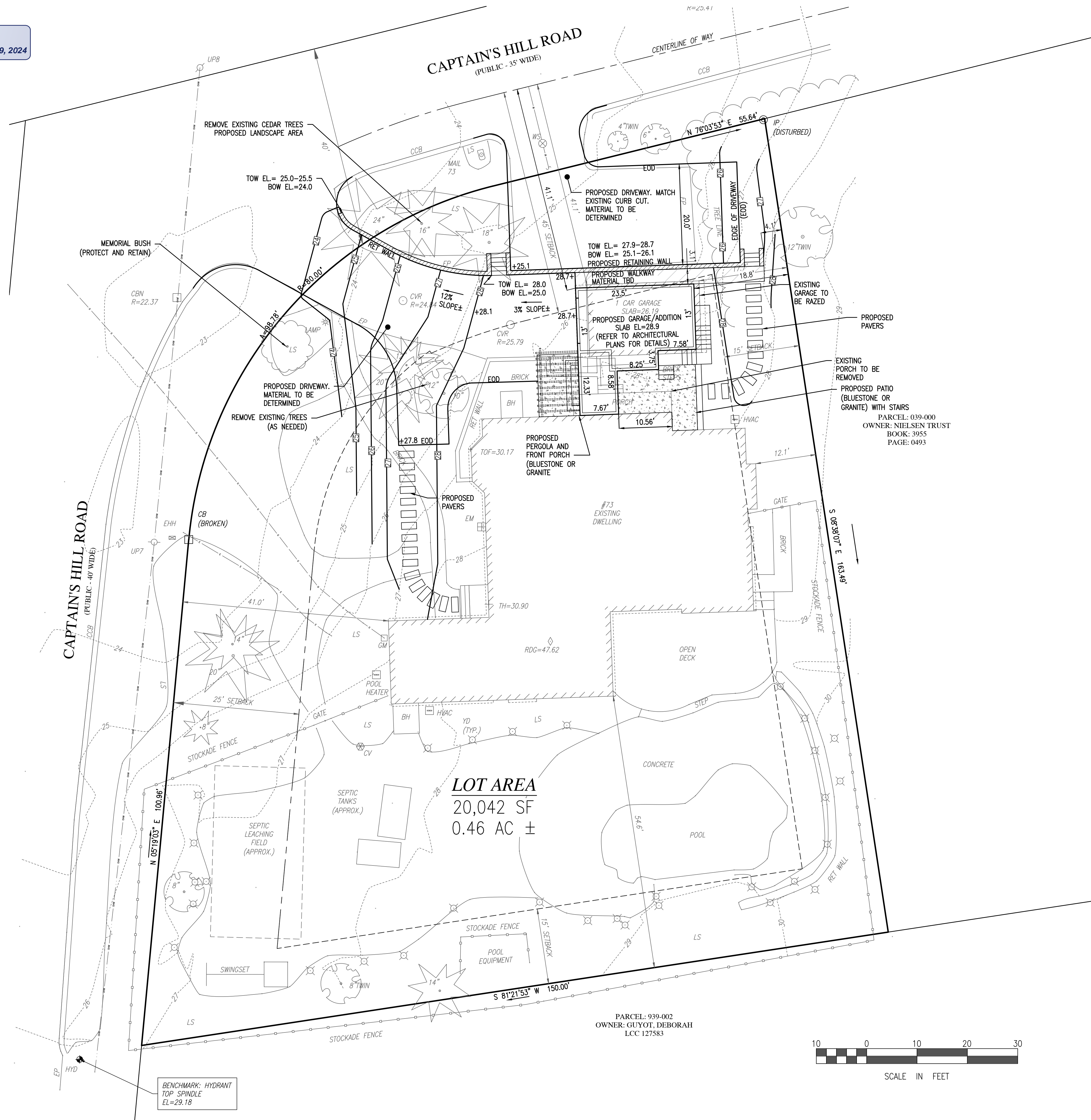
ZONING REQUIREMENTS

RESIDENTIAL COMPATIBILITY DISTRICT "RC"

| | REQUIRED | EXISTING | PROPOSED |
|-------------------|-----------|---------------|-----------|
| AREA | 40,000 SF | 20,042 SF | NO CHANGE |
| FRONTAGE | 200 FEET | 255.4 FEET | NO CHANGE |
| BUILDING HEIGHT | 30 FEET | 17.3 FEET | NO CHANGE |
| BUILDING COVERAGE | 15% | 16.0% | 16.0% |
| MINIMUM YARDS: | | | |
| FRONT** | 25 FEET | 23.6/41.1 FT* | NO CHANGE |
| SIDE** | 15 FEET | 12.1 FEET | NO CHANGE |
| REAR** | 15 FEET | N/A | N/A |

* WHERE THE WAY IS 40' OR MORE IN WIDTH, NO BUILDING SHALL BE PLACED WITHIN 25 FEET OF SAID WAY. WHERE THE WAY IS LESS THAN 40' IN WIDTH NO BUILDING SHALL BE PLACED WITHIN 45' FROM THE CENTER LINE OF THE WAY.

** NO SWIMMING POOL OR TENNIS COURT SHALL BE BUILT WITHIN 10 FEET OF A SIDE OR REAR LOT LINE.



REVISIONS



DRAWN BY: REG

DESIGNED BY: NC

CHECKED BY: DK

Merrill
Engineers and Land Surveyors
427 COLUMBIA ROAD, HANOVER, MA 02339 / T: (781) 826-9200
26 UNION STREET, PLYMOUTH MA 02360 / T: (508) 746-6080
WWW.MERRILLINC.COM

SITE PLAN
73 CAPTAINS HILL ROAD
DUXBURY, MASSACHUSETTS
OWNER/APPLICANT
PAUL T. & CLAIRE W. CASALE
73 CAPTAINS HILL ROAD
DUXBURY, MA 02332

APRIL 19, 2024

SCALE: 1" = 10'

JOB NO. 21-236

LATEST REVISION:

SITE PLAN

SHEET 1 OF 1

COPYRIGHT © BY MERRILL CORPORATION. THIS PLAN IS A TECHNICAL DRAWING AND IS TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN CONSENT OF MERRILL CORPORATION UNDER THE EXERCISE OF ANY REGULATORY AUTHORITY WHICH MAY BE EXERCISED. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY MECHANICAL PHOTOGRAPHIC, RECORDING OR OTHERWISE, WITHOUT THE EXPRESS WRITTEN CONSENT OF MERRILL CORPORATION SHALL BE HELD TO BE LIABLE. ANY REVISIONS MADE TO THIS DOCUMENT WITHOUT THE EXPRESS WRITTEN CONSENT OF MERRILL CORPORATION SHALL BE HELD TO BE VOID.

THE CASALE RESIDENCE

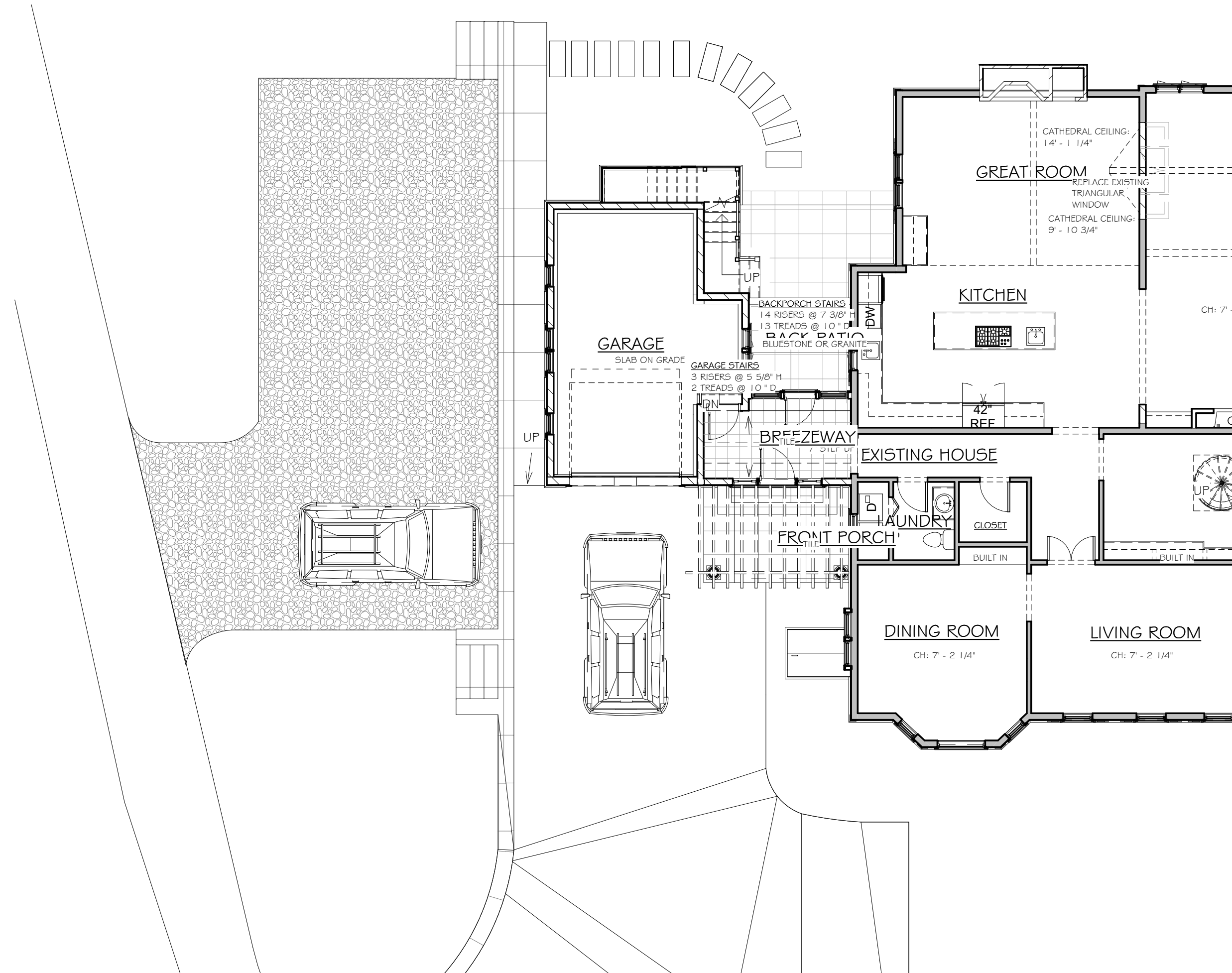
73 CAPTAIN'S HILL RD. DUXBURY, MA

GENERAL NOTES:

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING THESE GENERAL NOTES AND THE DRAWINGS IN THEIR ENTIRETY. CONTRACTOR TO CAREFULLY EXAMINE THE SITE FOR CONDITIONS THAT MAY AFFECT THE WORK. NO EXTRA COST WILL BE INCURRED FOR ADDITIONAL WORK CAUSED BY UNFAMILIARITY WITH SITE CONDITIONS OR CONSTRUCTION DRAWINGS.

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EXECUTING THE WORK IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, REGULATIONS, AND ORDINANCES AS DEFINED BY LOCAL BUILDING CODES (INCLUDING BUT NOT LIMITED TO CONSERVATION, HISTORICAL, AND ZONING REQUIREMENTS)
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EXECUTING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SHALL BE LIABLE FOR ANY DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS AND NOTES.
- GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED BY LOCAL BUILDING AUTHORITIES.
- GENERAL CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY AND CONTROL OVER THE METHODS, SEQUENCES, AND COORDINATION OF ALL PORTIONS OF THE WORK.
- DIMENSIONS, CONDITIONS, AND INSTRUCTIONS INDICATED ON THE DRAWINGS DESCRIBE THE INTENT AND SCOPE OF WORK; ACTUAL FIELD CONDITIONS MAY VARY FROM THESE CONTRACT DOCUMENT DESCRIPTIONS.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AS SHOWN ON THE DRAWINGS AND IN THE FIELD AND NOTIFY THE ENGINEER AND ARCHITECT OF ANY DISCREPANCIES BEFORE ORDERING MATERIAL.
- STRUCTURAL ENGINEER IS RESPONSIBLE FOR ALL STRUCTURAL FRAMING COMPONENTS, INCLUDING BUT NOT LIMITED TO L.V.L. AND STEEL BEAMS. REFER TO SEPARATE ENGINEERING STRUCTURAL ELEMENTS REPORT BY ENGINEER FOR SCOPE AND LIMITATIONS OF WORK.
- STRUCTURAL ENGINEER IS RESPONSIBLE FOR ALL FOUNDATION AND FOOTING INFORMATION. REFER TO SEPARATE ENGINEERING STRUCTURAL ELEMENTS REPORT BY ENGINEER FOR ALL FOUNDATION INFORMATION.
- ALL HEATING, PIPING, INSULATION, ELECTRICAL, FIREPROOFING AND OTHER REQUIREMENTS ARE THE RESPONSIBILITY OF OTHERS.
- NOTIFY THE ENGINEER OF ANY ARCHITECTURAL MODIFICATION OR DIMENSIONAL CHANGES THAT MAY AFFECT THE STRUCTURAL DESIGN.
- JULIA CHUSLO, ARCHITECT IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS AND ASSUMES NO LIABILITY FOR THE USE OF THESE PLANS.
- THESE PLANS ARE SUBJECT TO COPYRIGHT PROTECTION AND THE UNAUTHORIZED USE, REPRODUCTION, OR SALE OF THESE PLANS WITHOUT CONSENT IS PROHIBITED.
- HEAT LOSS CALCULATIONS TO BE PROVIDED BY CONTRACTOR.
- FINAL DESIGN OF HARDSCAPING AND LANDSCAPING BY OTHERS
- ALL CONSTRUCTION SHALL BE NEW AND FREE FROM DEFECTS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF EXTERIOR STUD, CENTER OF INTERIOR STUD, FACE OF STRUCTURE, FACE OF MASONRY UNLESS NOTED OTHERWISE.
- CONTRACTOR TO MATCH ALL BASEBOARDS, DOORS, TRIM, TRIM PAINTS, AND ANY OTHER FINISHES TO EXISTING.
- HOMEOWNER TO VERIFY GUTTER AND DOWNSPOUT LOCATIONS AND MAKE FINAL SELECTION OF GUTTER SIZE AND MATERIAL.
- CONTRACTOR TO PERFORM SCOPE OF WORK SKILLFULLY, CAREFULLY, AND IN A WORKMANLIKE MANNER, FREE OF DEFECTS, IN EITHER MATERIALS OR WORKMANSHIP
- FINAL CALCULATED BUILDING HT TO BE CALCULATED USING FINAL FLOOR JOIST SELECTION BY STRUCTURAL ENGINEER. (PHASE 2)
- HOMEOWNER TO SELECT THE FOLLOWING:
 - FLOORING
 - TILE/STONE MATERIAL
 - LIGHT FIXTURES
 - EXTERIOR WALL SCONCES
 - LANDSCAPE: (PHASE 2)
 - HARDSCAPE MATERIAL
 - STONE WALL MATERIAL
 - OUTDOOR LIGHTING
 - OUTDOOR SPRINKLER
 - DRIVEWAY MATERIAL

| Sheet List | | |
|--------------|-----------------------------|------------------|
| Sheet Number | Sheet Name | Sheet Issue Date |
| ** | READ ME | 02/19/24 |
| A0.0 | Cover Sheet | 02/19/24 |
| A1.0 | Floor Plans | 02/19/24 |
| A2.0 | Elevations | 02/19/24 |
| A3.0 | Sections | 02/19/24 |
| E1.0 | First Floor Electrical Plan | 02/19/24 |



② FIRST FLOOR PLAN
1/8" = 1'-0"

NOTE: 3D VIEWS ARE SCHEMATIC ONLY.
REFER TO CONSTRUCTION DRAWINGS
FOR FINAL PLAN AND ELEVATION DETAILS

RECEIVED
By Lauren Hache at 2:18 pm, May 09, 2024

JULIA CHUSLO:ARCHITECT
163 MARSHALL ST. - DUXBURY, MA, 02332 (781) 934-9562

NOT FOR CONSTRUCTION

REVISIONS
Date Description

THE CASALE RESIDENCE
73 Captains Hill Rd
Duxbury, MA

TITLE
Cover Sheet

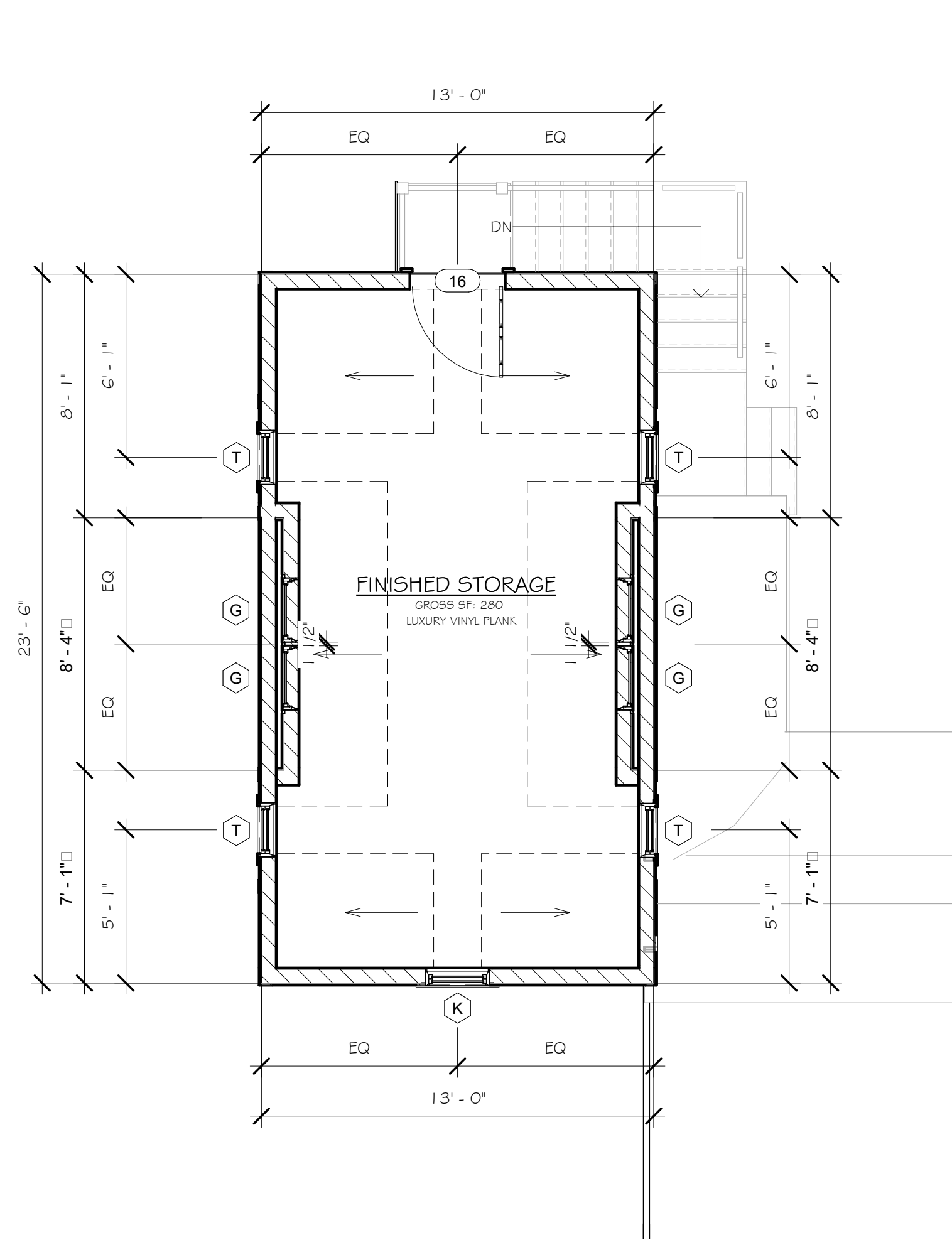
DATE 04/30/2024

SCALE 1/8" = 1'-0"

DRAWN BY JH, AA

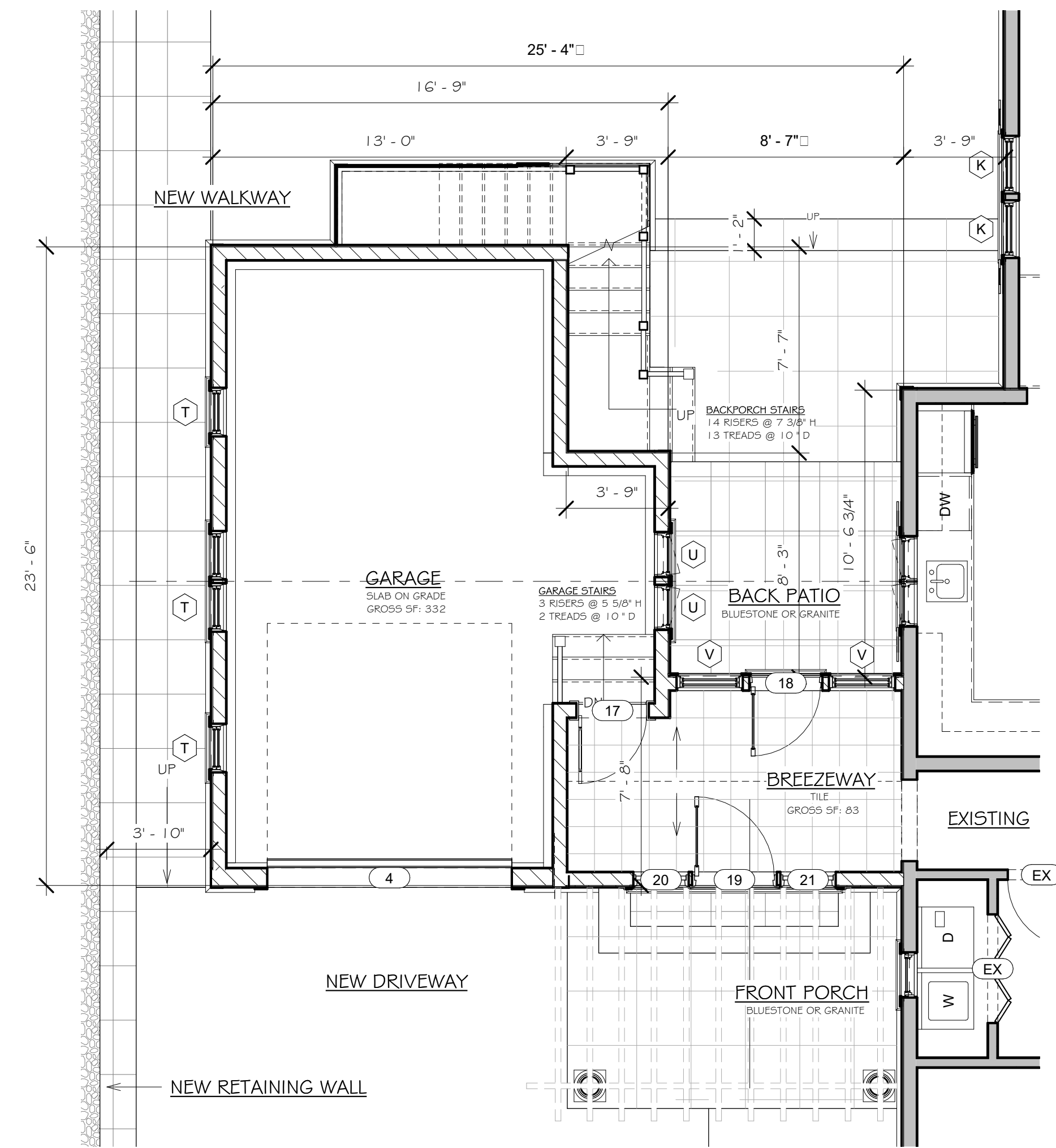
A0.0

PROGRESS PRINTS



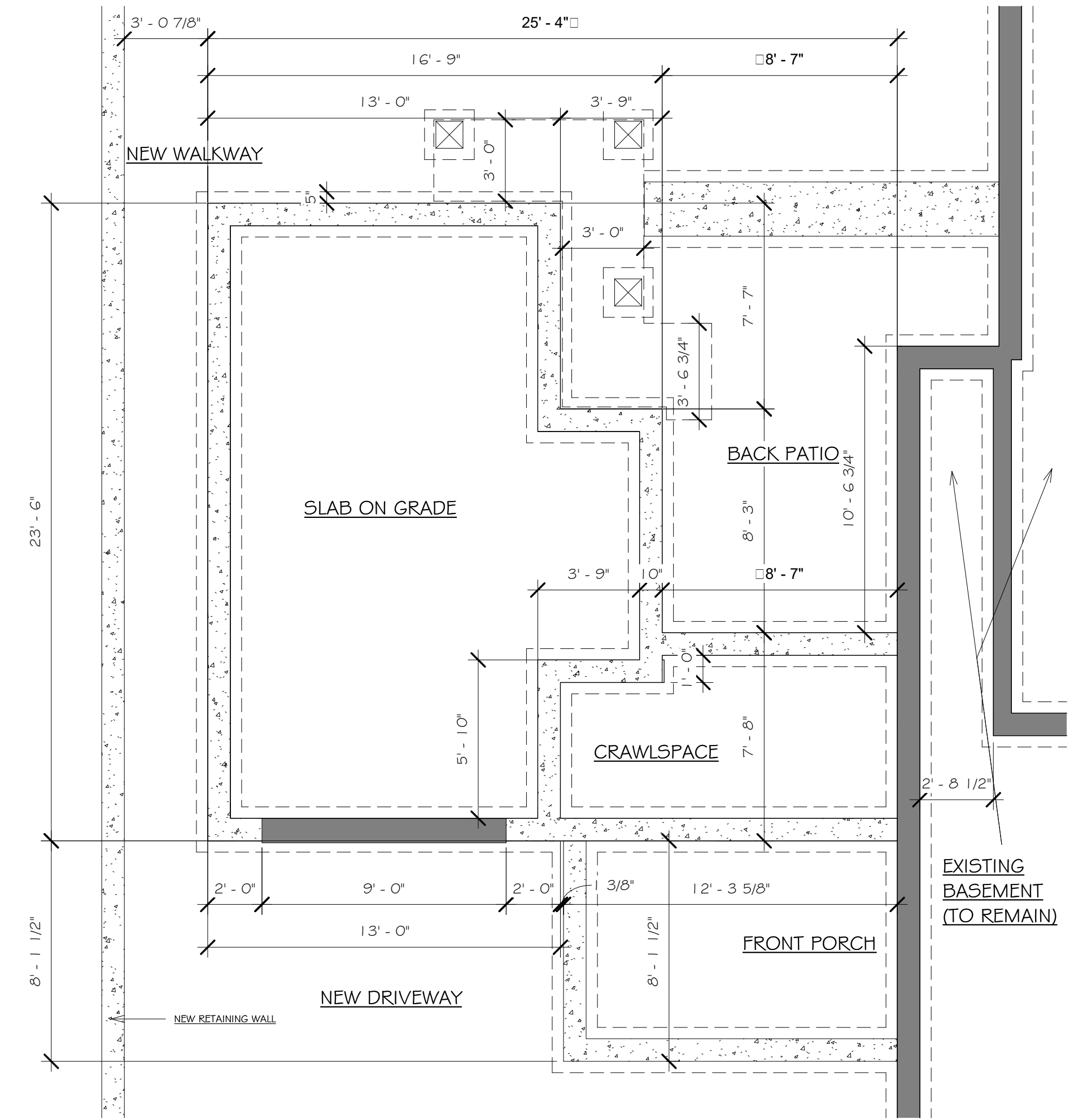
① SECOND FLOOR PLAN
1/4" = 1'-0"

2ND FLOOR GROSS AREA
OFFICE SF: 293



③ FIRST FLOOR PLAN.
1/4" = 1'-0"

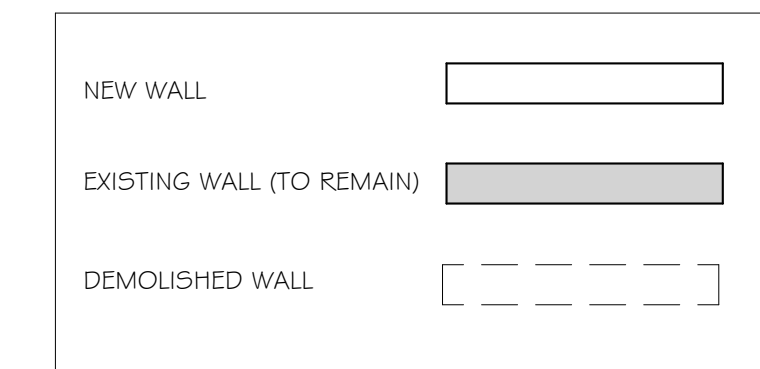
1ST FLOOR GROSS AREA
GARAGE SF: 340
BREEZEWAY SF: 91
TOTAL SF: 431



⑤ FOUNDATION PLAN
1/4" = 1'-0"

| WINDOW SCHEDULE - PHASE 2 Copy 1 | | | | | | |
|----------------------------------|------|-----------------|--------------|--------------|--------------------------|----------|
| TYPE MARK | QTY. | MODEL # | ROUGH WIDTH | ROUGH HEIGHT | MANUFACTURER | COMMENTS |
| S | 4 | ELCANF TR | 1' - 5" | 1' - 4" | Marvin Windows and Doors | N/A |
| T | 8 | ELDH2252 | 1' - 10 1/2" | 4' - 4 1/4" | Marvin Windows and Doors | |
| U | 2 | ELCA2131 | 1' - 9" | 2' - 7 5/8" | Marvin Windows and Doors | |
| V | 2 | CUDH-NG24 24/36 | 2' - 6 1/4" | 5' - 8" | Marvin Windows and Doors | |

| EXTERIOR DOOR SCHEDULE Copy 1 | | | | | | | |
|-------------------------------|------|------------|--------------------------|---------------------------------|---|-----------------------------|----------|
| DOOR NUMBER | QTY. | SIZE | MANUFACTURER | MODEL # | DESCRIPTION | COMMENTS | Function |
| 4 | 1 | 108" x 96" | Designer Garage Doors | | Garage Door | | Exterior |
| 16 | 1 | 36" x 80" | TruStile Doors, LLC | TS3300 | TruStile (TS) Series | TO BE SELECTED BY HOMEOWNER | Exterior |
| 18 | 1 | ELIFD2868 | Marvin Windows and Doors | ELIFD2868 | 3282 FR DOOR | | Exterior |
| 19 | 1 | 36" x 80" | Upstate Doors | Upstate 2090 w/ 3010 SIDELIGHTS | Layout 2090 One Panel (2w x 3h) w/ Sidelight 3010 One Panel (1w x 3h) | FRONT DOOR | Exterior |
| 20 | 1 | 23" x 80" | Upstate Doors | Upstate 2090 w/ 3010 SIDELIGHTS | Layout 2090 One Panel (2w x 3h) w/ Sidelight 3010 One Panel (1w x 3h) | SIDELITE | Exterior |
| 21 | 1 | 23" x 80" | Upstate Doors | Upstate 2090 w/ 3010 SIDELIGHTS | Layout 2090 One Panel (2w x 3h) w/ Sidelight 3010 One Panel (1w x 3h) | SIDELITE | Exterior |



② Renovation Key
1/4" = 1'-0"

JULIA CHUSLO-ARCHITECT
163 MARSHALL ST. - DUXBURY, MA. 02332 (781) 934-5562

| REVISIONS | Description |
|-----------|-------------|
| Date | |

THE CASALE RESIDENCE

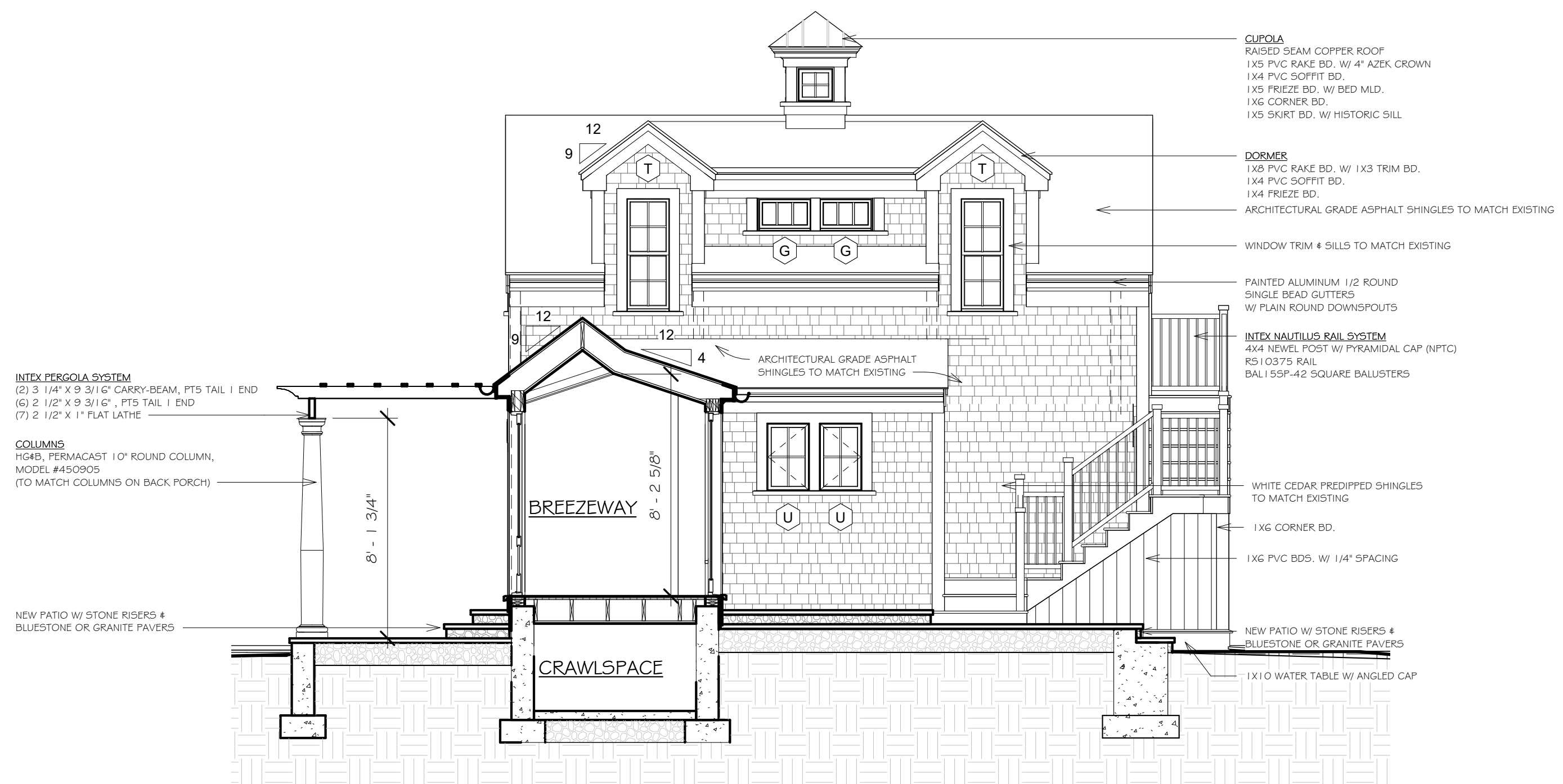
73 Captains Hill Rd
Duxbury, MA

| | |
|----------|--------------|
| TITLE | Floor Plans |
| DATE | 04/30/2024 |
| SCALE | 1/4" = 1'-0" |
| DRAWN BY | JH, AA |

NOT FOR CONSTRUCTION

PROGRESS PRINTS

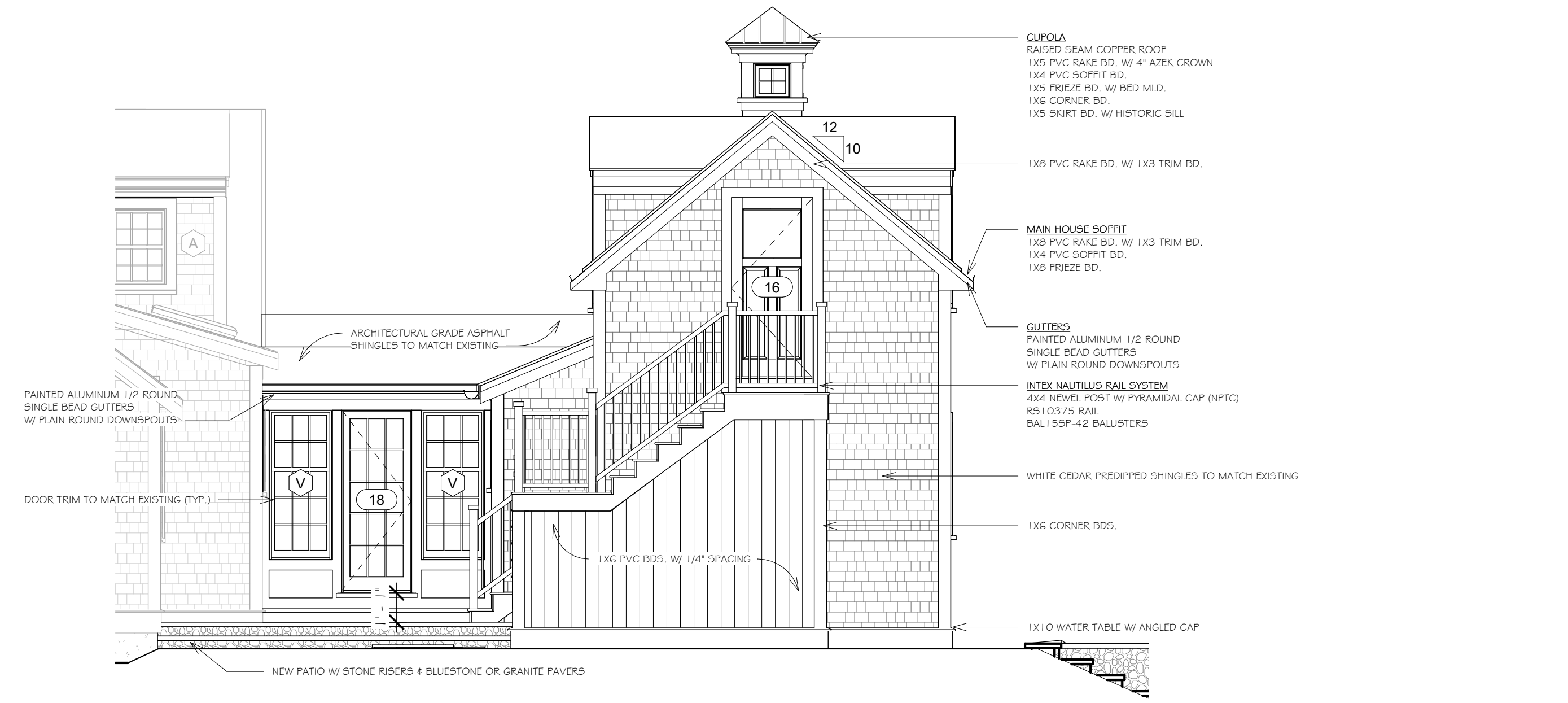
A1.0



① SOUTH ELEVATION
1/4" = 1'-0"



② NORTH ELEVATION
1/4" = 1'-0"



④ EAST ELEVATION
1/4" = 1'-0"



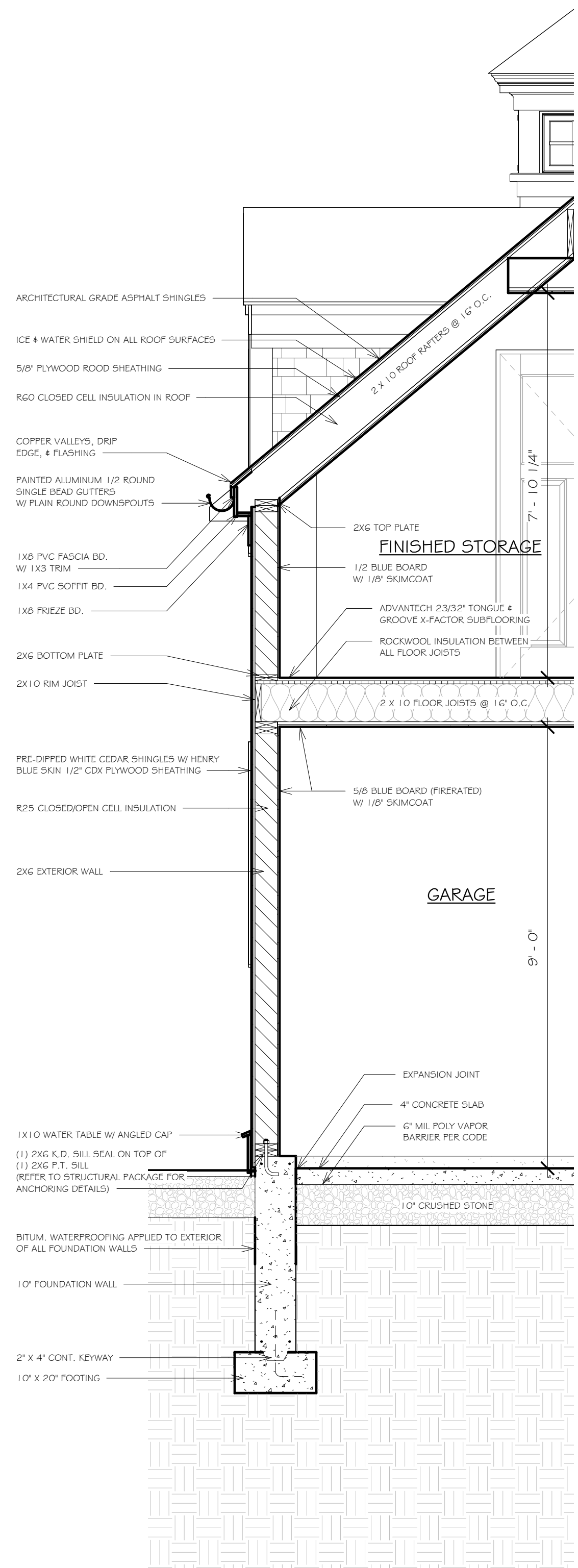
③ WEST ELEVATION
1/4" = 1'-0"

| REVISIONS | Description |
|-----------|-------------|
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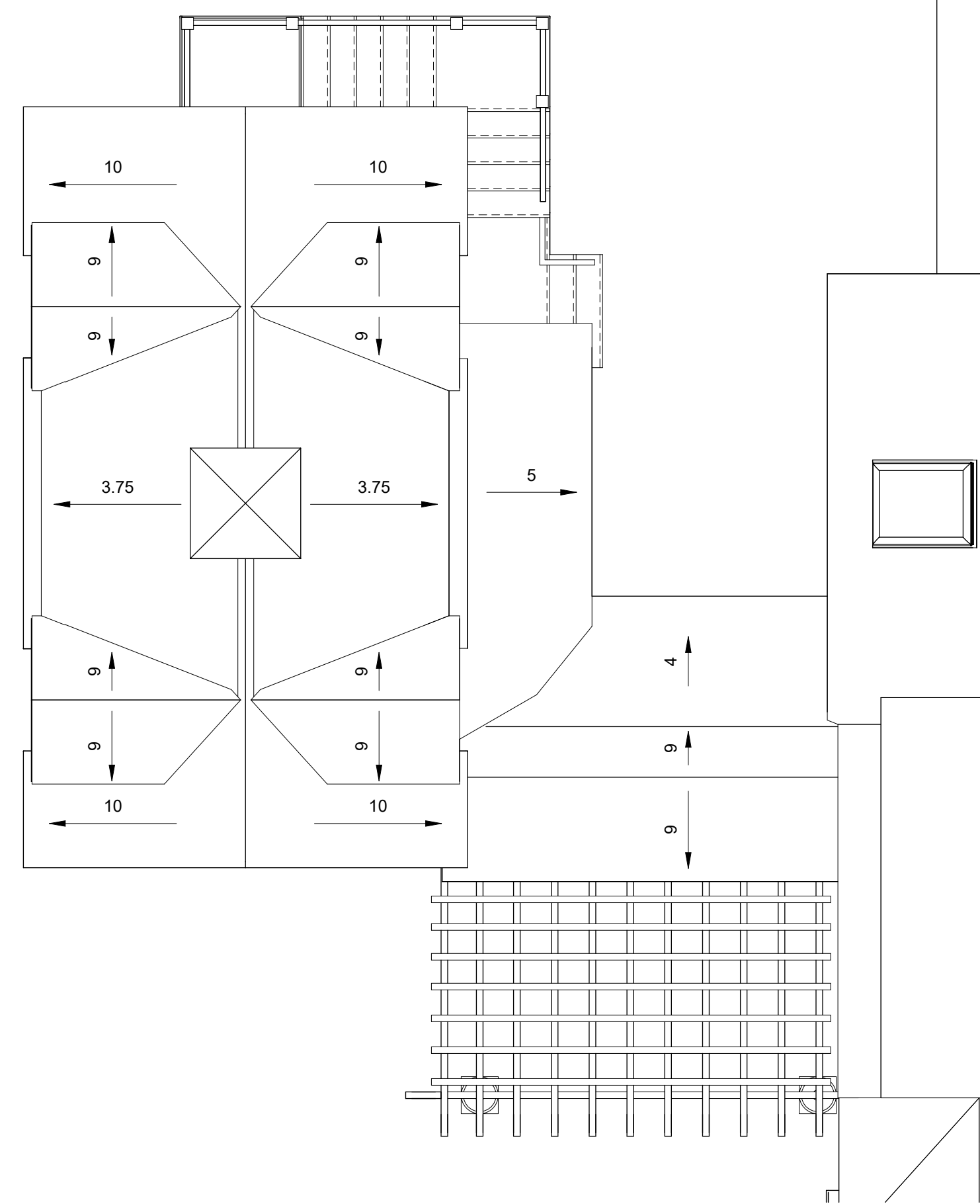
THE CASALE RESIDENCE
73 Captains Hill Rd
Duxbury, MA

| | |
|----------|--------------|
| TITLE | Elevations |
| DATE | 04/30/2024 |
| SCALE | 1/4" = 1'-0" |
| DRAWN BY | LH, AA |

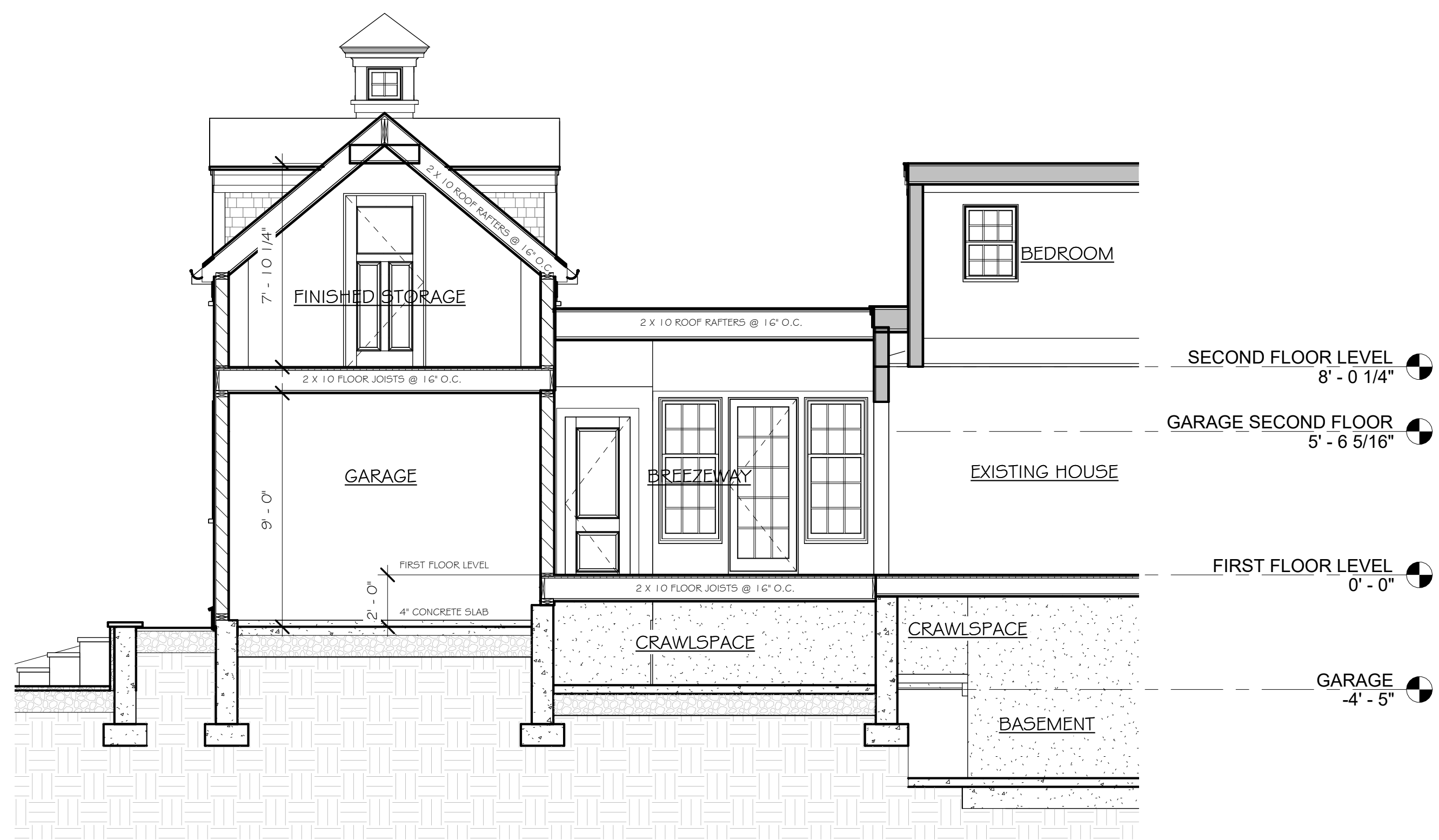
JULIA CHUSLO-ARCHITECT
163 MARSHALL ST. - DUXBURY, MA. 02532 (781) 934-5562
NOT FOR CONSTRUCTION



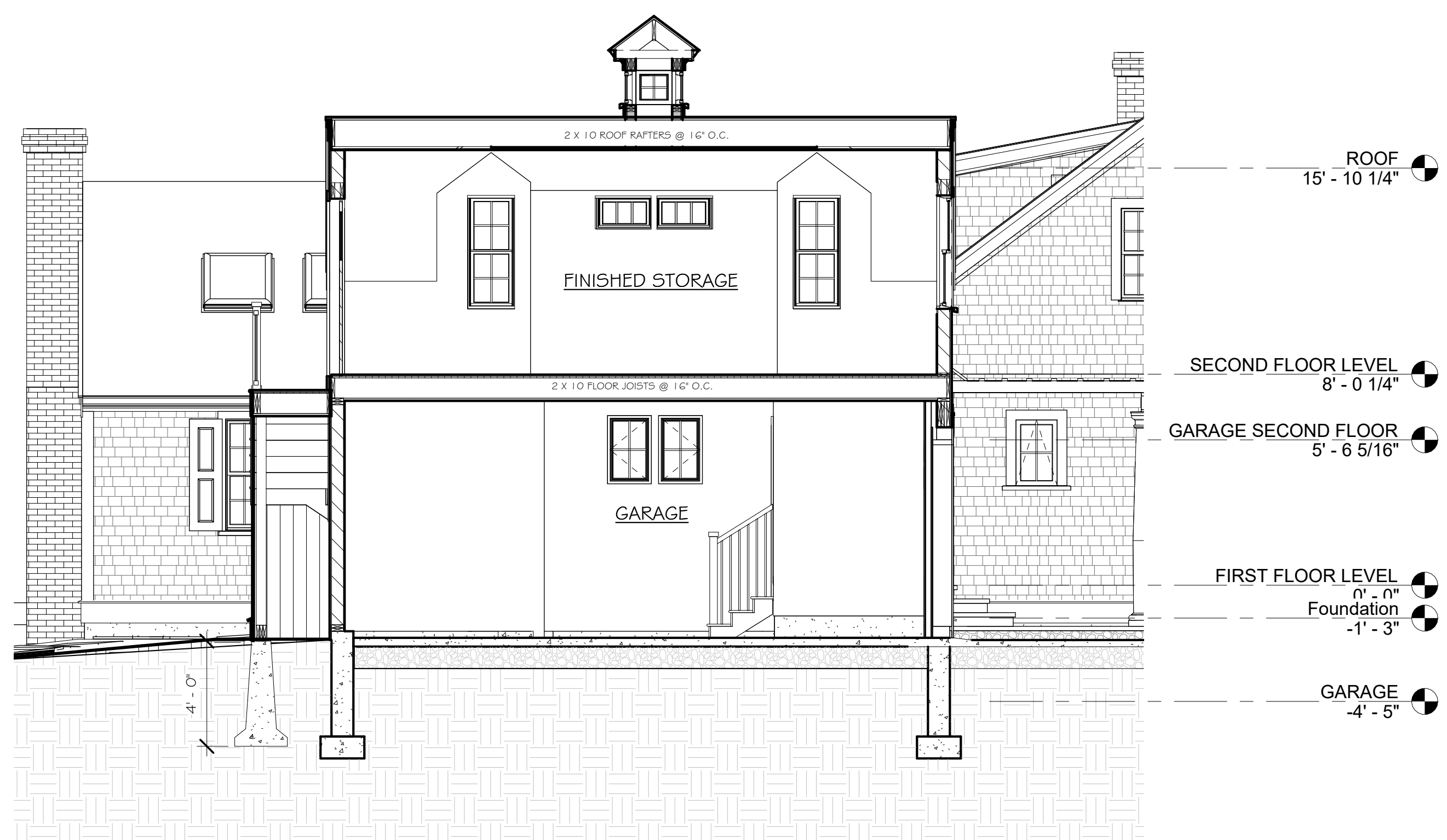
④ Typ. Wall Section
1/2" = 1'-0"



③ ROOF PLAN
1/4" = 1'-0"



① CROSS SECTION
1/4" = 1'-0"



② LONGITUDINAL SECTION
1/4" = 1'-0"

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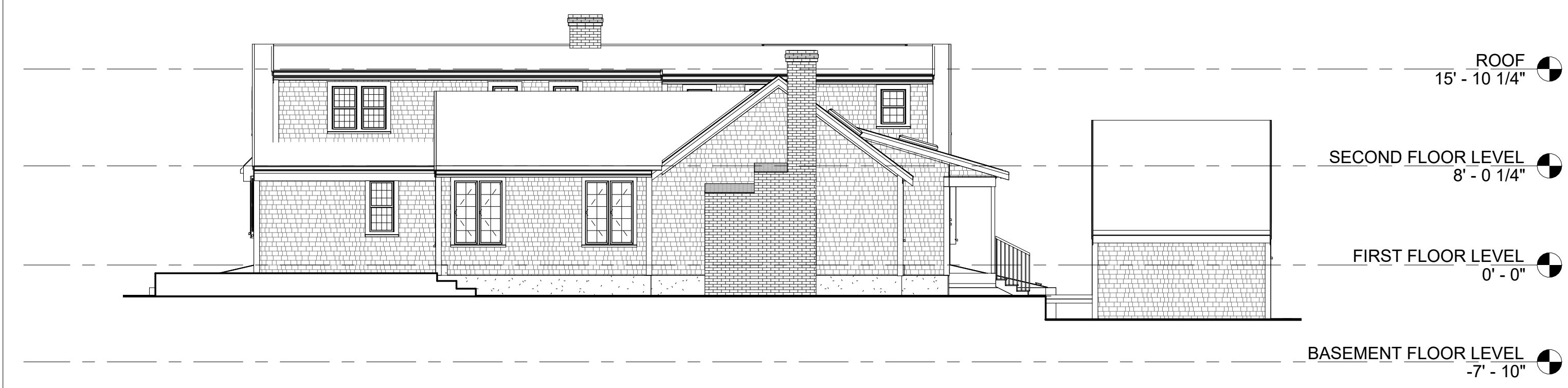
| REVISIONS | Description |
|-----------|-------------|
| Date | |

THE CASALE
RESIDENCE
73 Captains Hill Rd
Duxbury, MA

| TITLE | Sections |
|----------|--------------|
| DATE | 04/30/2024 |
| SCALE | As indicated |
| DRAWN BY | U1, AA |

A3.0

PROGRESS PRINTS



④ NORTH ELEVATION
1/8" = 1'-0"



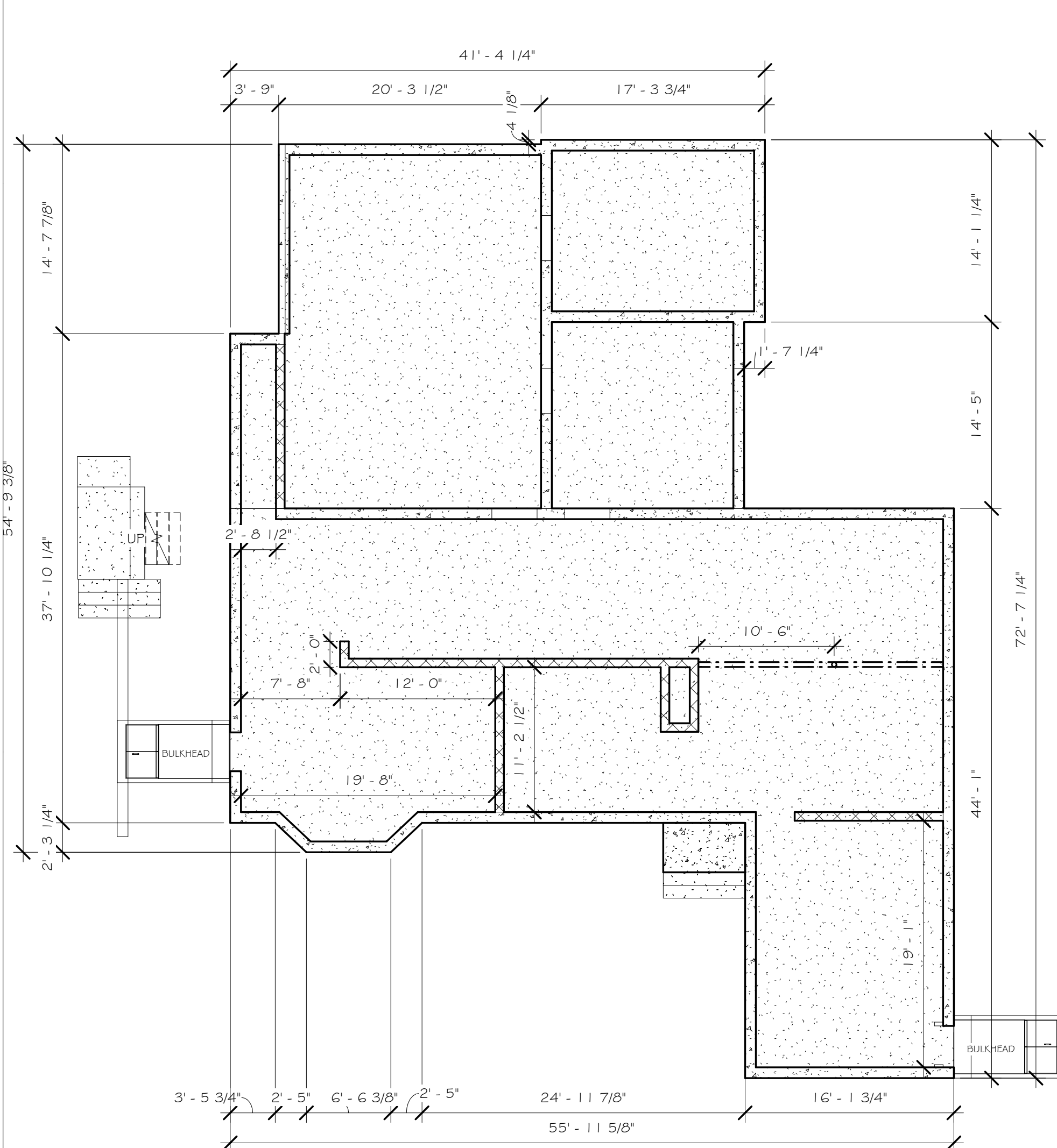
③ EAST ELEVATION
1/8" = 1'-0"



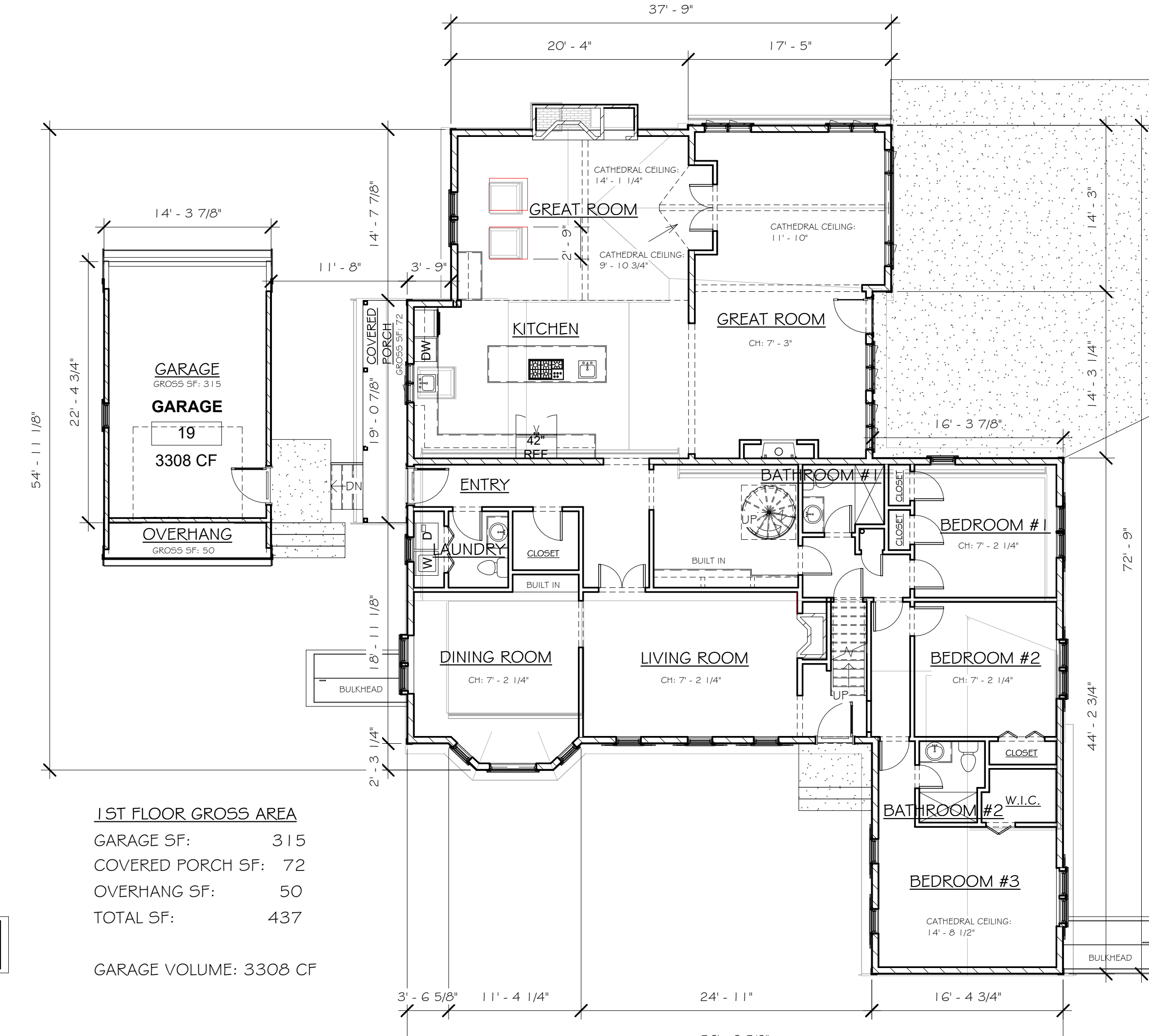
⑤ SOUTH ELEVATION
1/8" = 1'-0"



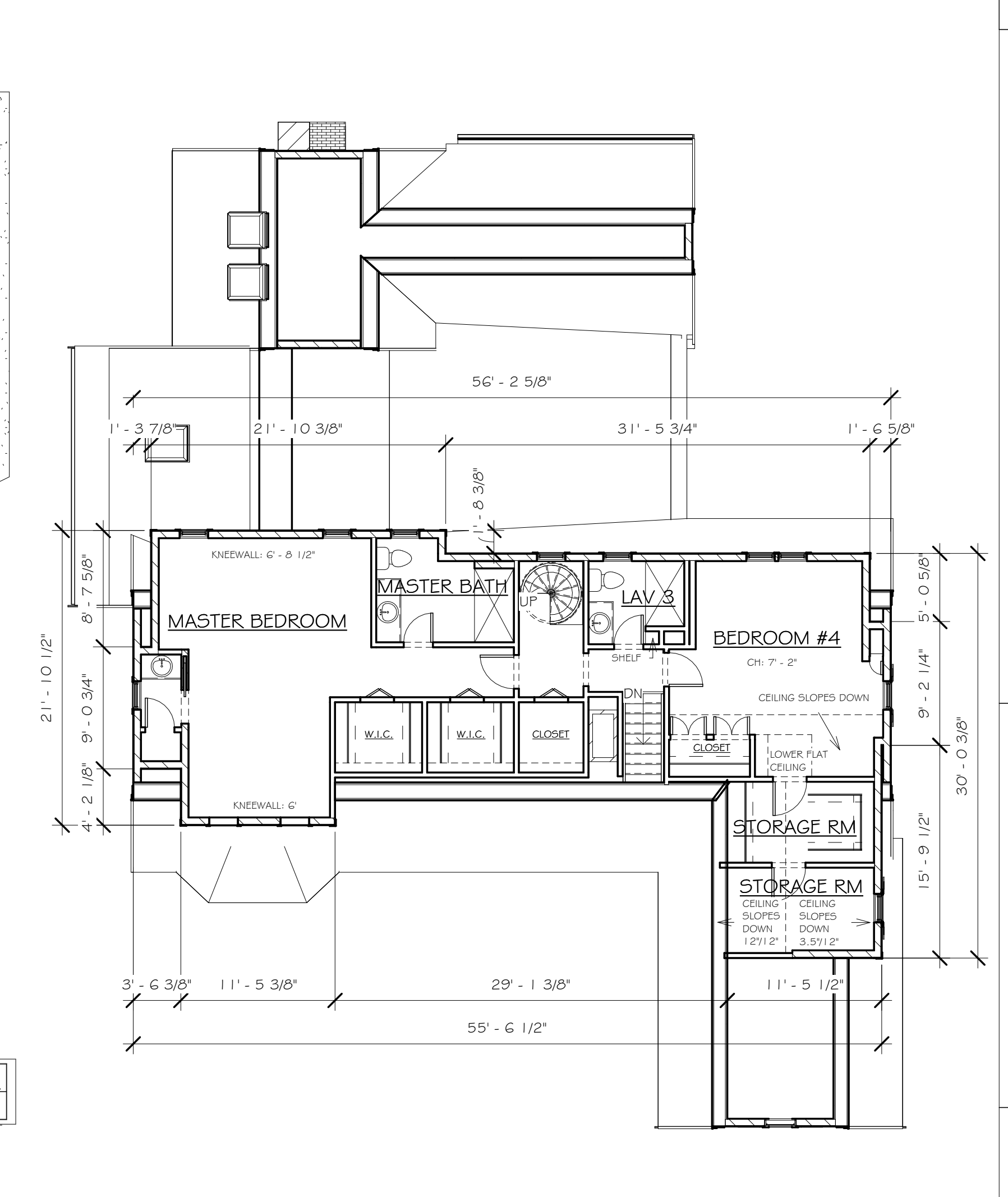
⑥ WEST ELEVATION
1/8" = 1'-0"



⑦ FOUNDATION PLAN
1/8" = 1'-0"



① FIRST FLOOR PLAN
1/8" = 1'-0"



② SECOND FLOOR PLAN
1/8" = 1'-0"

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163 MARSHALL ST. - DUXBURY, MA. 02332 (781) 934-5562

| REVISIONS | Description |
|-----------|-------------|
| | |
| | |
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| | |

DATE: _____
TITLE: **THE CASALE RESIDENCE**
73 Captains Hill Rd

| TITLE | EXISTING CONDITIONS |
|----------|---------------------|
| DATE | 7/8/21 |
| SCALE | 1/8" = 1'-0" |
| DRAWN BY | AA |

A1.5

NOT FOR CONSTRUCTION